

Housing Element



NARRATIVE

In many ways, South Jordan’s rich history can be seen in the residential development patterns moving from east to west. The early settlers established farmland along the Jordan River. Those that followed farmed along canals running north and south, regularly spaced going west from the river. The farmland has been parceled into rural residential pieces and parceled again, more so as you move westward, into semi-rural and low density residential pieces.

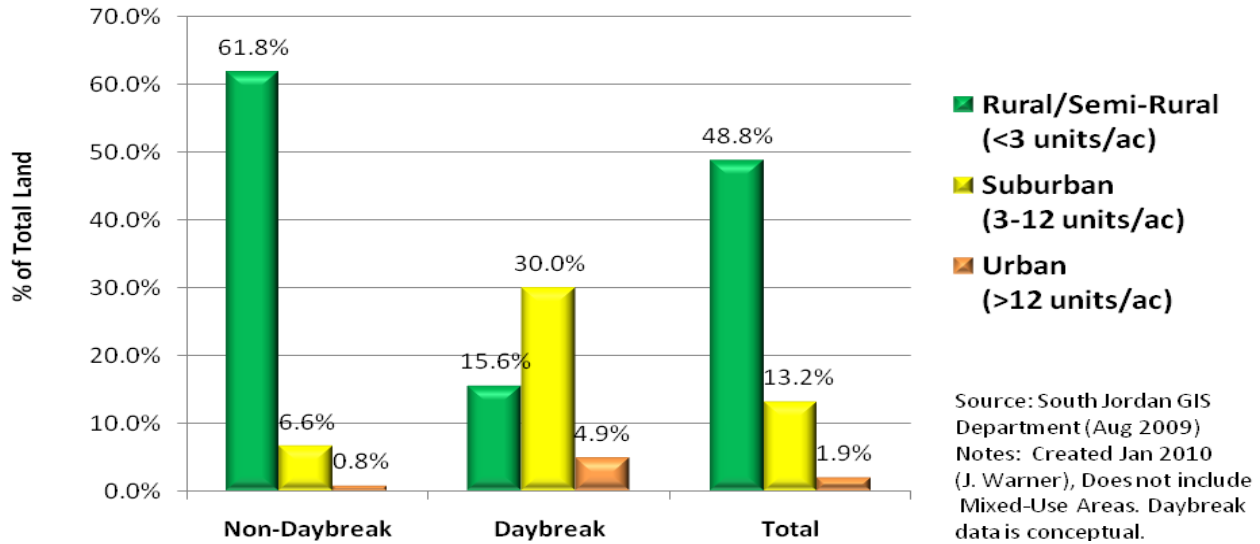


Kennecott Copper has long owned the west one-third of the City’s land. Originally used in the mining process, that land has been reclaimed and is now being developed as the Daybreak Community. Much of what makes South Jordan a great community is found in its residential history and residents that still hold to the values of those who have come before.

The edges of these neighborhoods, along the major corridors in South Jordan provide an opportunity to enhance existing neighborhoods and introduce housing options. Zoning has long been used to protect housing from incompatible land use types. However, a look at more traditional development patterns (pre-World War II) reveals that residential use may benefit by and be more sustainable by closer proximity and integrated with other appropriate and compatible uses. By properly locating such uses, existing neighborhoods will be protected and enhanced, housing variety and choice will increase, developable land will be used more responsibly, and redeveloped land will absorb more growth. In some locations office may be located along these edges to provide a buffer to higher intensity uses. The City has identified areas at the intersections of major corridors within the City as appropriate for mixed-use development. A mixture of compatible uses can enhance livability, sustainability, social equity, and create a sense of place for all residents.

It is the quality of existing neighborhoods that has long drawn people to South Jordan. Continued investment and appropriate infill practices are important to prevent the decline of these areas. The City must protect its existing viable neighborhoods while allowing limited alternative development patterns to meet future needs. As the City continues to grow, alternative and appropriate development patterns are introduced to meet future demand, existing neighborhoods must be protected from developments that are out of character. This is most important in transitional areas along existing residential perimeters.

Residential Land Use Distribution by % to Total Land, 2010



As planners have sought for solutions to meet future demands, they are recognizing the value of pre-World War II development patterns. These ideas are combined in a comprehensive concept known as the Traditional Neighborhood Development (TND). TND principles include:

- Walkability-a variety housing types within walking distance (5 to 10 minutes) of a variety of activities
- Interconnected Street/Trail System -enhances walking, bicycling, and automobile mobility
- Edges and centers-well defined neighborhoods
- Important public spaces-civic buildings, plazas, parks, squares

South Jordan recognizes the value of TND principles in maintaining a 'small-town' feel and accommodating future housing needs in greenfield, brownfield, and in-fill residential development.

In order to meet market demand for housing throughout the life cycle, especially with the growing numbers of

seniors through the year 2030, a variety of housing types will be needed. With proper regulations on the use of accessory apartments (i.e. in-law and garage apartments), existing neighborhoods can maintain their character and help meet the needs for a housing type currently underserved. The proper introduction of housing into areas identified as adequate for mixed-use will also provide for a variety of housing types, densities, and lifestyles. As the population demands different types of housing, the City will be in a position to continue to provide quality housing. (Moderate Income Housing Plan to be included in the appendix.)

Various programs exist (EnergyStar, LEED) that promote sustainable building practices and materials. The Daybreak development requires builders to be in compliance with the EnergyStar program. South Jordan supports practical and sustainable building methods and materials. Standards should be established through the implementation of the General Plan to encourage such practices.

DESIGNATIONS

Rural Residential (RURAL)

Density: <1.8 units/acre

Zones: A-1, A-5, R-1.8

Acreage: 2,343

For many years this was the standard residential designation within the City. Provides rural-use residential parcels in an urban environment. Typically allows for agricultural and farm animals.

Low Density Residential (LD)

Density: >1.8-3 units/acre

Zones: R-2.5, R-3

Acreage: 3,369

The City standard for residential use. Provides a semi-rural feel. Does not generally allow for farm animal use. Lots generally about ¼ acre.

Medium Density Residential (MD)

Density: >3-8 units/acre

Zones: R-4, R-5, R-M

Acreage: 432

Allows for smaller lot single-family homes and lower density multi-family.

Medium High Density Residential (MHD)

Density: >8-12 units/acre

Zones: R-M

Acreage: 82

A multi-family zone of moderate density. Applies to one area on the land use map.

High Density Residential (HD)

Density: >12-20 units/acre

Zones: R-M

Acreage: 69

Highest by-right density allowed in the City. Typically used for apartment complexes. Large-scale single-use complexes discouraged.

Village Mixed Residential (VMR)

Zones: BHMU, (others TBD)

Acreage: 98

Allows for a mixture of housing types and densities. Preferred for areas appropriate for higher than standard densities.

Village Mixed Use (VMU)

Zones: BHMU, (others TBD)

Acreage: 435

Includes a mix of compatible uses, including residential, in appropriate locations, typically at corridor intersections. Smallest scale mixed-use designation available.

Town Center Mixed Use (TC-MU)

Zones: (TBD)

Acreage: 43

Includes the area along Redwood Road that incorporates City Hall. Intent to provide a moderate level of mixed-use, creating a 'downtown' area.

Transit Oriented Development Mixed Use (TOD-MU)

Zones: (TBD)

Acreage: 121

Found at the Front Runner station and I-15. Intended to combine land use and transportation in a way that each enhances and supports one another. The highest level of intensity allowed in the city.

Large-Scale Master Planned Community (PC)

Density: 2,785 units approved Zones: PC Acreage: 4,373 (Residential: 1,828)

The western third of the City is largely owned by Rio Tinto. The land use for the master planned area is comprised of 53% residential, 15% commercial, 9% public, 19% open space, and 4% mixed use as currently designated by Rio Tinto (Kennecott Land).

GOALS & POLICIES

Goal H-1 **Provide opportunities for the development of a mix of housing types within the City.**

- Policy H-1.1 Encourage various types of housing within the City that meets the ICC and NEC building codes, with an emphasis on owner-occupied housing .
- Policy H-1.2 Create and adopt a 'village' style mixed use zone to be used in appropriate locations along arterial and collector streets, with a TOD (Transit Oriented Development) sub-district for use adjacent to the Frontrunner Station and a Town Center sub-district for use around the existing South Jordan Town Center.
- Policy H-1.3 Utilize mixed use traditional neighborhood development (TND) projects to provide a variety of housing types in the City.
- Policy H-1.4 Create and adopt a floating Traditional Neighborhood Development (TND) residential district as an 'infill' zone in appropriate areas of the City by allowing slightly higher residential densities in return for 'traditional neighborhood' development standards.

- Policy H-1.5 Require multiple types of housing within mixed use and larger scale ‘stand alone’ projects based upon the size, scale, and market of the development.
- Policy H-1.6 Discourage or prohibit large scale multi-family residential developments that have the same housing type, building height, architecture, and ‘barrack style’ design.
- Policy H-1.7 Take advantage of the City’s attractiveness to retirees by providing areas for ‘Senior’ Housing or ‘empty nester’ housing by locating such in close proximity to retail, social, religious, and transportation amenities.
- Policy H-1.8 Encourage or require senior and empty nester housing to be integrated with approved mixed use developments, instead of isolated development pods.
- Policy H-1.9 Allow rental-type housing that can be integrated with other types of housing in mixed use projects or neighborhoods.
- Policy H-1.10 Consider allowing limited ‘accessory apartments,’ and/or ‘extended living areas’ within single family dwellings in certain residential zones to help provide housing that accommodates family life stages and cycles.

Goal H-2 **Provide a variety of well designed housing densities within the City in appropriate areas as indicated on the Future Land Use Map.**

- Policy H-2.1 Designate appropriate areas on the Future Land Use Map for ‘Rural Residential’ (up to 1.8 units per acre), ‘Low Density Residential’ (up to 3 units per acre), ‘Medium Density Residential’ (up to 8 units per acre), ‘Medium High Density Residential’ (Up to 12 units per acre), and ‘High Density Residential’ (up to 20 units per acre) developments.
- Policy H-2.2 Approval of any rezoning requests for a more intense residential zone within the designated Future Land Use Map density range, must take into consideration the zoning and land use intensity of properties in the area.
- Policy H-2.3 Provide limited areas for higher density as ‘infill’ and/or in mixed use developments, based upon superior design and development integration, spreading density rather than concentrating it in large pockets.

Policy H-2.4 Promote appropriate housing types and mix for additional housing opportunities within South Jordan's Towne Center development.

Policy H-2.5 Require appropriate architectural controls for single family and multi-family residential developments.

Goal H-3 **Protect and enhance existing single family residential neighborhoods within the City.**

Policy H-3.1 Except for the Bangerter Highway, Redwood Road, and 10400 South corridors, reserve the area between 3600 West and the west bluff of the Jordan River as primarily single family neighborhoods.

Policy H-3.2 Consider the adoption of a single family Conservation Development (RCD) floating zone (applied to all but "Rural Residential" areas) to encourage walkability, water conservation, and greater long term neighborhood stability. Said zone would allow re-modeling of existing dwellings and/or the construction of new dwellings with decreased front setbacks with the following requirements:

- a. Addition of porches as the focal point of the dwelling (instead of garage doors).
- b. Porch sidewalks connecting with street sidewalks.
- c. Other street oriented architecture and landscaping.

Goal H-4 **Provide for safe, attractive, and well maintained City neighborhoods.**

Policy H-4.1 The City Engineering and Public Works Departments should administer systematic maintenance programs which identify deficiencies in streets, pavement, sidewalks, parkstrips, public utilities, and public facilities.

Policy H-4.2 Participation by neighborhood groups in planning activities and decisions should be encouraged through informational mailings, direct notification to residents or neighborhood associations, and the posting of meeting dates and times at appropriate locations and/or on the internet.

Policy H-4.3 Encourage property owners to improve and maintain their properties.

Policy H-4.4 Require that all new developments have complete pedestrian and vehicular circulation facilities with appropriate curb, gutter, sidewalk, street lights, street trees, and proper storm drainage.

- Policy H-4.5 Utilize available CDBG and Redevelopment Housing Set-aside money to plan capital improvement projects such as the installation or replacement of curbs, gutters, sidewalks, and crosswalks.
- Policy H-4.6 Require appropriate pedestrian connections from housing to various activity centers (i.e. shopping facilities, schools, churches, parks, open space, and trail systems) to facilitate development of walkable self-sustaining neighborhoods.
- Policy H-4.7 Continue to require landscaping in front yards.
- Policy H-4.8 Continue to enforce property maintenance codes and implement a ‘good neighbor’ policy to hold individuals responsible for maintenance of their properties.
- Policy H-4.9 Discourage private gated communities within the City and instead promote accessible, connected and interactive neighborhoods.
- Policy H-4.10 Adopt a standard for ‘dead end’ subdivisions by requiring developments of a certain size or number of lots to have secondary access for residents and public safety apparatus.
- Policy H-4.11 Ensure that approved homeowners’ associations (HOA’s) are set up to be self-sustaining and adequately funded to handle on-going maintenance issues.
- Policy H-4.12 Set up a task force to consider methods for dealing with failing homeowners’ associations (HOA’s), such as special improvement districts.
- Policy H-4.13 Consider conducting a City-wide or neighborhood by neighborhood housing quality inventory, with periodic updates, and applying appropriate programs and policies to protect the City’s housing stock.

Goal H-5 **Provide for the development of adequate moderate income housing.**
 (See Moderate Income Housing Plan, Appendix “A”)

- Policy H-5.1 Provide locations and densities within the City, as necessary, to assure moderate income housing within economically viable inclusionary developments.
- Policy H-5.2 Promote infrastructure expansion and rehabilitation that will facilitate the construction of moderate income housing.

- Policy H-5.3 Re-design or rehabilitate potential re-adaptive structures for possible moderate income housing.
- Policy H-5.4 Review proportional share impact fee assessment for moderate income housing and consider reducing construction related fees imposed by the City.
- Policy H-5.5 Utilize state and federal funds or tax incentives to promote the construction of moderate income housing.
- Policy H-5.6 Utilize programs offered by the Utah Housing Finance Agency.
- Policy H-5.7 Utilize affordable housing programs administered by the Department of Community and Economic Development.
- Policy H-5.8 Preserve and maintain the existing moderate income housing stock.